

# TOWNSHIP OF ROSCOMMON

## REQUEST FOR PROPOSALS

### DEMOLITION AND SITE CLEANUP

Property Parcel ID: 011-523-023-1000

Owner: Wedding Chapel & Annex LLC

Site Location: 6800 W Houghton Lake Dr, Houghton Lake, MI 48629

The Township Board having considered the April 24, 2023, Order of Hearing Officer David Leroy respecting the property located at 6800 W Houghton Lake Drive, Houghton Lake, MI 48629, within the Township, at its meeting held August 1, 2023, the property owners and parties in interest having been afforded an opportunity to be heard regarding the same; the Township Board having considered the testimony, photographs and evidence presented by the Hearing Officer; and the Township Board having determined to uphold and modify the Hearing Officer's decision ordering the structures located on the property to be razed; and the Township Board having been otherwise fully advised in the premises, therefore ordering that:

1. The April 24, 2023, Order of the Dangerous Buildings Hearing Officer is upheld. The former Wedding Chapel structure, located on the property located at 6800 W Houghton Lake Dr, constitutes a Dangerous Buildings in accordance with the Dangerous Buildings provisions of the Housing Law of Michigan and Roscommon Township Ordinance No. 73
2. Owner must fully destroy the dangerous building and properly remove all waste materials from the site no later than July 6, 2024. **There will be no further extensions granted as the Roscommon Township Board will begin the bidding process for demolition to be tentatively awarded at the July 2, 2024, meeting of the Roscommon Township Board and if owner fails to comply with this order by July 6, 2024, the Roscommon Township Board shall proceed with the demolition.**
3. The Hearing Officer's order is modified to also require the property owners to place the yard/property into compliance with the International Property Maintenance Code provisions of the State Construction Code and the Housing Law of Michigan by the elimination of all unlicensed and/or inoperable motor vehicles and the parts thereof, tires, rags, household

garbage, litter, trash, brush piles; construction materials, unused and unusable machinery, debris, wood and plastic items, barrels, indoor furniture, discarded items, and any other unused/unusable items that have been left or stored in the yard.

### OBJECTIVE

Per the 6800 W Houghton Lake Dr. Order of the Dangerous Building Hearing, the Roscommon Township Board is now moving ahead to obtain bids to demolish said structures as described above.

### SCOPE OF SERVICE

The Township of Roscommon desires to retain the services of a single contractor to demolish said structures and site cleanup as described above.

Once the contract is awarded, all demolition and cleanup must be completed within sixty (60) days.

The following guidelines should be followed when responding to the request for proposals.

### Qualifications

Responses to this request should include information related to all of the following qualifications:

#### A. Builder's License for Demolition

- i. Either a Residential Builder's license or a Maintenance and Alteration License with a House Wrecking classification

#### B. Insurance

- i. The successful bidder will be required to have full coverage of workmen's compensation and contractor's liability and property damage insurance. As part of their bid proposal, all bidders shall submit a certificate of insurance as proof that the bidder has a current insurance policy providing the following coverage: Comprehensive general liability in the amount of one-million dollars (\$1,000,000.00).

#### C. Contractor's experience on similar projects

#### D. Safety plans, including site control procedures

#### E. A statement that the contractor will not discriminate on the bases of race, color, national origin, sex, religion, age, or disability in employment or the provision of services.

### Requirements for Project

All of the following are required elements of the contract whose costs must be accounted for in any submitted proposal. The contractor shall be expected to:

#### A. Provide overall management and administration of the project

- B. Provide a schedule to the Township for demolition, including, preparation for demolition (see attached Appendix A, Boarding Standard), demolish, clean-up, and remediate the site.
- C. Conduct a survey for asbestos and other hazardous materials, with added provisions and costs necessary should asbestos or other hazardous materials be found on the property.
  - i. When asbestos-containing materials are in the building to be demolished, the township will allow up to \$1500 for inspection costs. The bid need not contain remediation costs for asbestos removal, as they are unknown until after inspection. The bidder will provide an inspection report, remediation plan and expected cost of remediation after inspection. The Township reserves the ability to review and separately approve asbestos remediation plans and cost estimates. No demolition can occur until asbestos has been remediated by contractor or his/her designee.
  - ii. Should asbestos be found on the property, the contractor must provide an Asbestos Abatement Contractor license and hazardous material training and expertise.
  - iii. Hazardous materials include, in part: asbestos, mechanical and electrical systems containing polychlorinated biphenyls, potentially hazardous or regulated materials/waste located in containers and/or drums, potential mercury containing items, volatiles/flammables (kerosene, oil, gas), heavy metals, florescent light bulbs and ballasts, paint, varnish, cleaning products, household products, and tires.
- D. Notify the State of Michigan of all demolition activity, including the LARA Asbestos Program if applicable
- E. Coordinate utility shut off and disconnection
  - i. Sanitary and storm sewer leads, gas, water and other service lines shall be shut off and sealed at the property line as approved by the utility owner.
  - ii. In the case of a private well and/or private septic system. All wells and septic systems must be properly abandoned according to the environmental health care for Roscommon County.
  - iii. Sewer and Septic permits as per attached Houghton Lake Building Agency Demo Checklist.
- F. Remove or facilitate the removal of all utility equipment (i.e. water meters)
- G. Contact Miss Dig to have utilities surveyed and marked
  - i. Miss Dig must be contacted at least 72 hours prior to commencement of work
- H. Based upon the Subdivision Plat, stake the lot lines, and provide photographs of the markers
- I. Perform a pre-demolition and post-demolition inspection, with accompanying photographs and written notes for each
- J. Provide required 10-day notice to the State of Michigan of any abatement activity
- K. Perform air monitoring and clearance before demolition

- L. Provide adequate notice to neighborhood residents of demolition and adequately prepare the site for demolition
- M. Fully destroy the dangerous structures and properly remove all waste materials from the site
- N. Complete Abatement Waste Manifests
- O. Complete and submit demolition debris removal and waste manifests
- P. Perform an open hole inspection
- Q. Provide fill material
- R. Complete grading, replace top soil, and seed property

General Provisions

- A. If any change orders are necessary once the contract has been awarded, they must be in writing, and it will require the signatures of the contractor and Ordinance Enforcement Officer and/or Building Inspector.
- B. In conformance with the Air Pollution Control Regulation of the Michigan Department of Public Health, the open burning of debris from demolition of building shall not be permitted. The contractor shall dispose of all debris in a sanitary landfill that has been approved by local authorities having jurisdiction. Copies of all sanitary landfill receipts must be submitted prior to the release of payment by the Township.

INSTRUCTION TO BIDDERS

- 1. Bids must be typewritten or clearly printed in ink and signed by a duly authorized representative of the firm submitting the bid.
- 2. Bids must be submitted in sealed envelopes clearly marked on the outside:  
"6800 W Houghton Lake Dr. -DEMO BID"
- 3. No telephoned or facsimile bids will be considered.
- 4. Bids must be sealed; hand delivered or mailed to:  
Township of Roscommon  
Diane Randall, Supervisor  
8555 Knapp Road  
P.O. Box 610  
Houghton Lake, MI 48629
- 5. All bids and subsequent invoices must be broken down per property id and address.

The Township reserves the right to reject any and all proposals and any contract is subject to the Township securing adequate funding for such service. Further, the Township reserves the right to accept or reject any and all bids due to unforeseen circumstances, for any discrepancy within a submitted bid, or for the failure of a bid to meet the requirements listed within this request.

The bid opening will be held at the Regular Township meeting on July 2, 2024 at 7:00 pm.

All Bids must be in a sealed envelope and either mailed or hand-delivered to the above listed address no later than 3:30 P.M. on July 1, 2024.

Bidders shall provide all of the above information and that as required herein with the bid. FAILURE TO DO SO MAY RESULT IN THE BID BEING REJECTED AS NONRESPONSIVE.

Name of Contractor/Business: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone: \_\_\_\_\_

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Printed Name)

\_\_\_\_\_  
(Title)

\_\_\_\_\_  
(Date)

# APPENDIX A

## BOARDING STANDARD

The provisions contained in this appendix are not mandatory unless specifically referenced in the adopting ordinance.

2021 International Property Maintenance Code

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### User note:

About this appendix: Appendix A provides minimum specifications for boarding a structure. This can be utilized by a jurisdiction as a set of minimum requirements in order to result in consistent boarding quality. These requirements also provide a reasonable means to eliminate having to approve numerous methods or materials for the boarding and securing of a structure. It is important to note that the provisions of Appendix A are not mandatory unless specifically referenced in the adopting ordinance of the authority having jurisdiction.

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## AIOI GENERAL

### AIOI.I General.

Windows and doors shall be boarded in an approved manner to prevent entry by unauthorized persons and shall be painted to correspond to the color of the existing structure.

## A102 MATERIALS

### A102.1 Boarding sheet material.

Boarding sheet material shall be minimum 1/2-inch-thick (12.7 mm) wood structural panels complying with the International Building Code.

### A102.2 Boarding framing material.

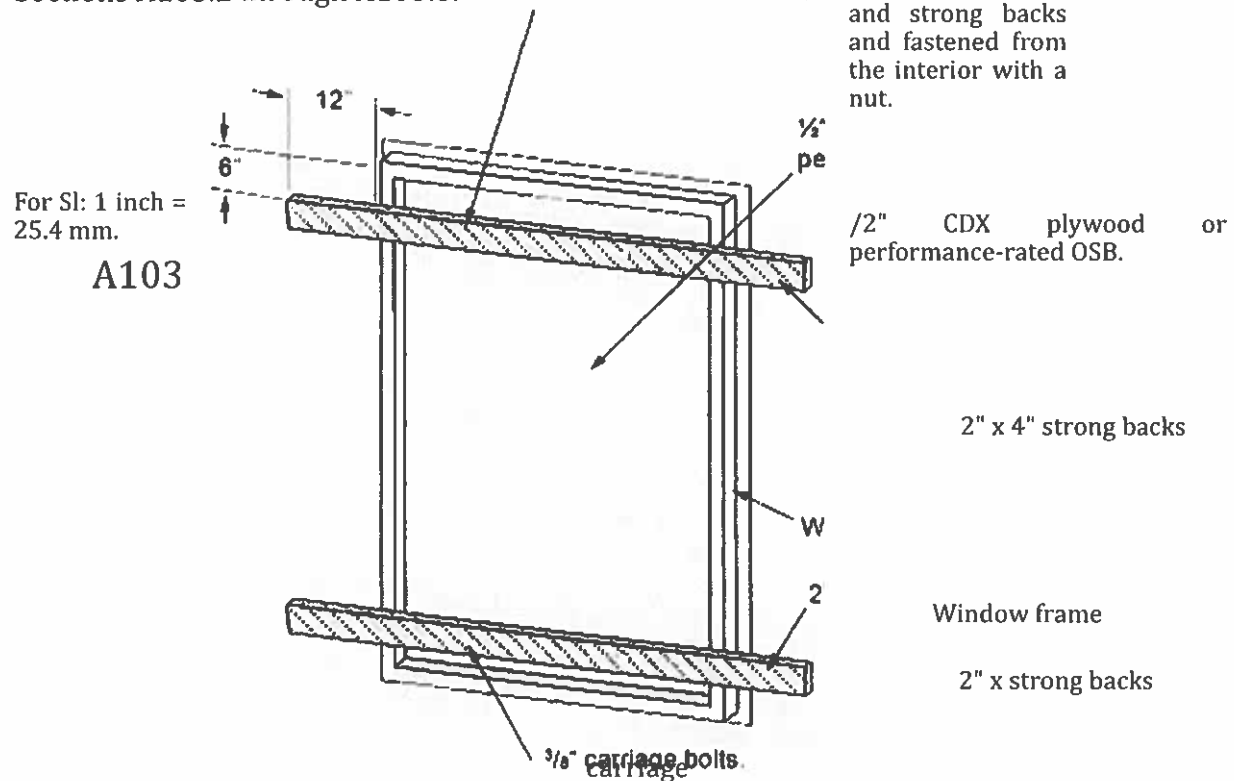
Boarding framing material shall be minimum nominal 2-inch by 4-inch (51 mm by 102 mm) solid sawn lumber complying with the International Building Code.

### A102.3 Boarding fasteners.

Boarding fasteners shall be minimum 1/2-inch-diameter (9.5 mm) carriage bolts of such a length as required to penetrate the assembly and as required to adequately attach the washers and nuts. Washers and nuts shall comply with the International Building Code.

**A103.1 Boarding installation.**  
 The boarding installation shall be in Sections A103.2 through A103.5.

$\frac{3}{8}$ " carriage bolts.  
 Bolts shall be long enough to extend from the exterior plywood through the interior plywood and strong backs and fastened from the interior with a nut.



## INSTALLATION

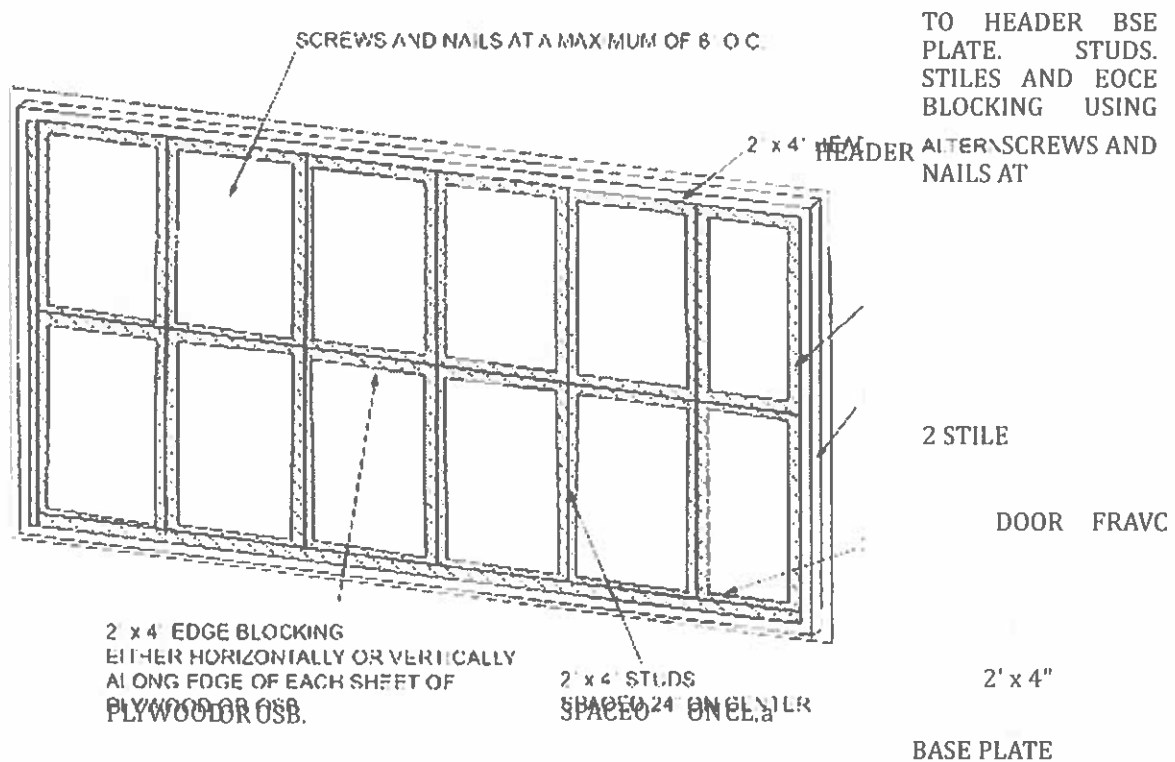
accordance with Figures A103.1(1) and A103.1(2) and

Bolts shall be long enough to extend from the exterior plywood through the interior plywood and strong backs and fastened from the interior with a nut.

**FIGURE A103.1(1)**  
**BOARDING OF DOOR OR WINDOW**

$\frac{3}{8}$ " COX ; -LYWOOD OR PERI OR' JANCE. RAI OSB SEALL SLCUREO





For St: 1 inch 25.4 mm

FIGURE A103.1(2)  
BOARDING OF DOOR WALL

### A103.2 Boarding sheet material.

The boarding sheet material shall be cut to fit the door or window opening neatly or shall be cut to provide an equal overlap at the perimeter of the door or window.

### A103.3 Windows.

The window shall be opened to allow the carriage bolt to pass through or the window sash shall be removed and stored. The 2-inch by 4-inch (51 mm by 102 mm) strong back framing material shall be cut minimum 2 inches (51 mm) wider than the window opening and shall be placed on the inside of the window opening 6 inches (152 mm) minimum above the bottom and below the top of the window opening. The framing and boarding shall be predrilled. The assembly shall be aligned and the bolts, washers and nuts shall be installed and secured.

#### A103.4 Door walls.

The door opening shall be framed with minimum 2-inch by 4-inch (51 mm by 102 mm) framing material secured at the entire perimeter and vertical members at a maximum of 24 inches (610 mm) on center. Blocking shall also be secured at a maximum of 48 inches (1219 mm) on center vertically. Boarding sheet material shall be secured with screws and nails alternating every 6 inches (152 mm) on center.

#### A103.5 Doors.

Doors shall be secured by the same method as for windows or door openings. One door to the structure shall be available for authorized entry and shall be secured and locked in an approved manner.

## AI 04

### REFERENCED STANDARD

#### AI 04.1 Referenced standards.

Table AI 04.1 lists the standard that is referenced in various sections of this appendix. The standard is listed herein by the standard identification, the effective date and title and the section or sections of this document that reference the standard. The application of the referenced standards shall be as specified in Section 102.8.

TABLE A104.1  
REFERENCED STANDARD

STANDARD ACRONYM	STANDARD NAME	SECTIONS HEREIN REFERENCED
IBC—21	International Building Code	AI 02.1, AI 02.2, A102.3

HOUGHTON LAKE SEWER  
AUTHORITY 1250 S HARRISON RD  
PO BOX 8

HOUGHTON LAKE MI 48629-9626

PHONE: 989-422-5811

FAX: 989-422-3336

# Houghton Lake Building Agency

1250 S. Harrison Rd – P.O. Box 8 – Houghton Lake – Michigan – 48629  
(989) 422-3687 Fax (989) 422-7241

## DEMOLITION PERMIT CHECKLIST

Note: This handout is provided as informational and as a convenience to summarize and interpret the intent and associated requirements for the demolition of a structure. Please refer to the actual code section in the Michigan Building Code (Chapter 33, section 3303) for the exact wording of the code.

The following must be completed prior to obtaining a Demolition Permit issued by the Houghton Lake Building Agency.

1. Land Use permit issued by the Township.
2. Asbestos inspection by Michigan Department of Natural Resources and Environment. (Commercial projects).
3. Sewer cap.
4. Soil Erosion permit (if within 500 feet of shoreline).

The following must be completed prior to demolition of the structure.

1. Septic permit from Health Department.
2. Well permit from Health Department.
3. Disconnect utilities (Electric, Gas, Telephone and Cable Services).

If you have any questions regarding the above, please contact us at (989) 422-3687.

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prct. Trans.
THE WEDDING CHAPEL & ANNE		100,000	08/11/2010	WD	21-NOT USED/OTHER	1095/2456	Deed	0.0

Property Address  
 6800 W HOUGHTON LAKE DR  
 Owner's Name/Address  
 WEDDING CHAPEL & ANNEX LLC  
 201 BURGUNDY WAY  
 ROSCOMMON MI 48653

Class: COMMERCIAL-IMPROV    Zoning: DEFAU    Building Permit(s)  
 School: HOUGHTON LAKE COMM SCHOOLS    Demolish  
 P.R.E. 0%    DEMOLISH  
 MAP #:    2025 Est TCY Tentative

X	Improved	Vacant	Land Value Estimates for Land Table 2000.2000 COMMERCIAL
	Public Improvements		

Tax Description  
 L1019/P463 L708/P307 224 LOTS 23, 24 & 25 BLK 3 SOUTH HOUGHTON HEIGHTS  
 SPLIT/COMBINED ON 01/31/2014 FROM 011-523-023-0000, 011-523-024-0000;  
 Comments/Influences

\* Factors \*  
 Description    Frontage    Depth    Front    Depth    Rate    %Adj.    Reason    Value  
 CFB    137.25    100.00    1.0000    0.8165    154    100       17,258  
 137 Actual Front Feet, 0.32 Total Acres    Total Est. Land Value =    17,258

Land Improvement Cost Estimates  
 Description    Rate    Size    % Good    Cash Value  
 D/W/P: Asphalt Paving    2.73    2040    52    2,896  
 Total Estimated Land Improvements True Cash Value =    2,896

Topography of Site

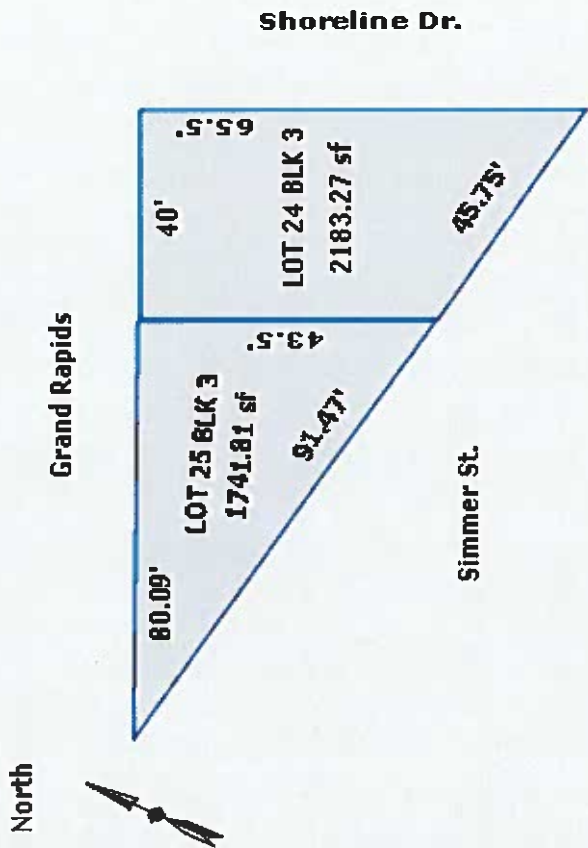
Level	Rolling
Low	High
Swamp	Wooded
Pond	Waterfront
Ravine	Wetland
Flood Plain	

Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
2025	Tentative	Tentative	Tentative			Tentative
2024	8,600	33,700	42,300			31,431C
2023	7,100	28,400	35,500			29,935C
2022	7,100	23,100	30,200			28,510C



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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



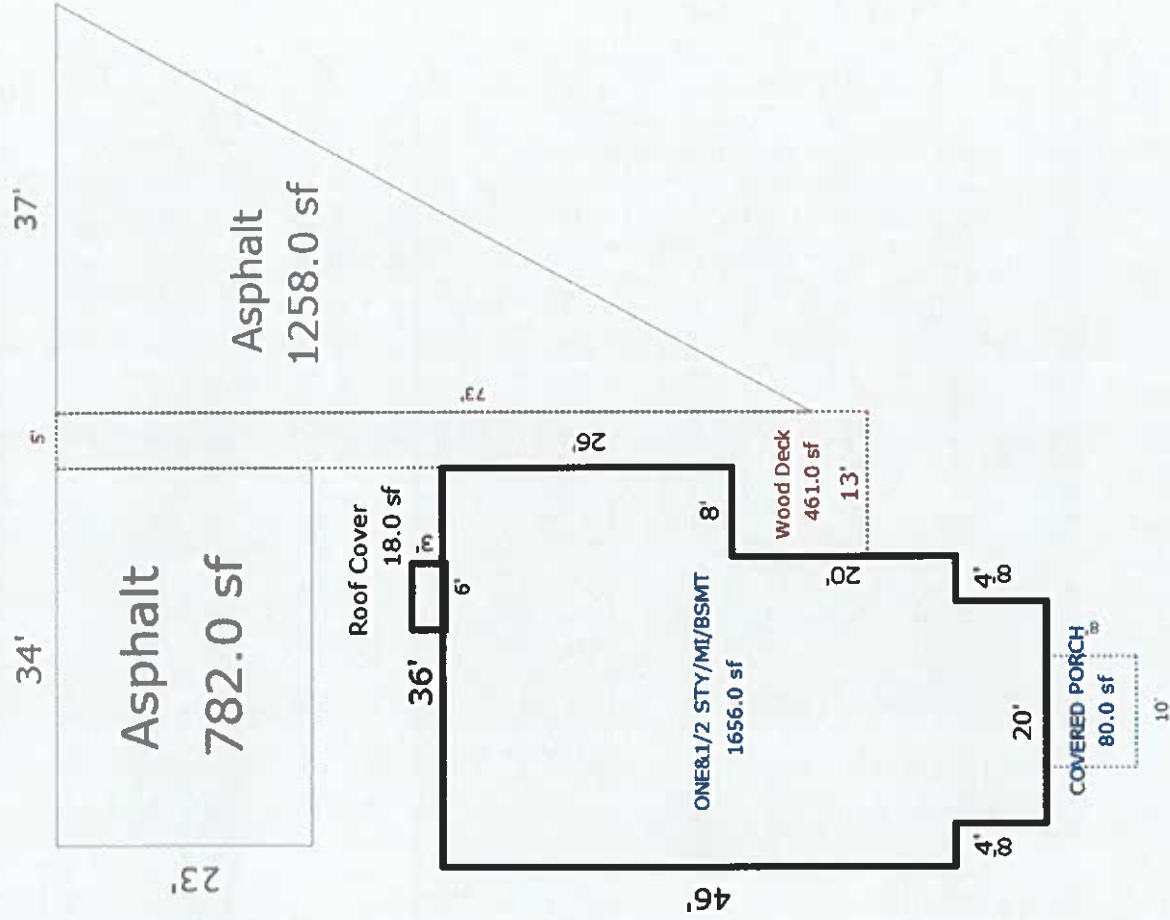
Sketch by Apex Medina™

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins		(16) Porches/Decks		(17) Garage	
X	Single Family	Eavestrough Insulation		X	Gas	Oil	Elec.	Appliance Allow.		Interior 1 Story		Year Built:
	Mobile Home	0 Front Overhang			Wood	Coal	Steam	Cook Top		Interior 2 Story		Car Capacity:
	Duplex	0 Other Overhang		X	Forced Air w/o Ducts			Dishwasher		2nd/Same Stack		Class:
	A-Frame	(4) Interior			Forced Air w/ Ducts			Bath Heater		Two Sided		Exterior:
	Wood Frame	Drywall			Forced Hot Water			Vent Fan		Exterior 1 Story		Brick Ven.:
	Plastered	Plaster			Electric Baseboard			Hot Tub		Exterior 2 Story		Stone Ven.:
	Wood T&G	Wood T&G			Elec. Ceil. Radiant			Vented Hood		Prefab 1 Story		Common Wall:
	Trim & Decoration	Trim & Decoration			Electric Wall Heat			Vented Hood		Prefab 2 Story		Foundation:
	Ex	X	Ord	Min	Space Heater			Intercom		Heat Circulator		Finished ?:
	Size of Closets	Small			Wall/Floor Furnace			Jacuzzi Tub		Raised Hearth		Auto. Doors:
	Ig	X	Ord	Small	Forced Heat & Cool			Jacuzzi repl.Tub		Wood Stove		Mech. Doors:
	Doors	Solid X H.C.			Heat Pump			Oven		Direct-Vented Ga		Area:
	(5) Floors				NO Heating/Cooling			Microwave		Class: D -10		% Good:
	Kitchen:				Central Air			Standard Range		Effic. Age: 65		Storage Area:
	Other:				Wood Furnace			Self Clean Range		Floor Area: 1,656		No Conc. Floor:
	Other:				(12) Electric			Sauna		Total Base New : 176,771		E.C.F.
	(6) Ceilings				0 Amps Service			Trash Compactor		Total Depr Cost: 79,547		X 0.811
	(7) Excavation				No./Qual. of Fixtures			Central Vacuum		Estimated T.C.V: 64,513		Bsmnt Garage:
	Basement: 1656 S.F.				Ex.	X	Ord.	Min	Security System		Carport Area:	
	Crawl: 0 S.F.				No. of Elec. Outlets					Roof:		
	Slab: 0 S.F.				Many	X	Ave.	Few				
	Height to Joists: 0.0				(13) Plumbing							
	(8) Basement				Average Fixture (s)							
	Conc. Block				1	3 Fixture Bath						
	Poured Conc.				2	Fixture Bath						
	Stone				Softener, Auto							
	Treated Wood				Softener, Manual							
	Concrete Floor				Solar Water Heat							
	Basement Finish				NO Plumbing							
	Recreation SF				Extra Toilet							
	Living SF				Extra Sink							
	Walkout Doors (B)				Separate Shower							
	No Floor SF				Ceramic Tile Floor							
	Walkout Doors (A)				Ceramic Tile Wains							
	Floor Support				Ceramic Tub Alcove							
	Joists:				Vent Fan							
	Unsupported Len:				(14) Water/Sewer							
	Cntr.Sup:				Public Water							
	Chimney: Brick				Public Sewer							
					Water Well							
					1000 Gal Septic							
					2000 Gal Septic							
					Lump Sum Items:							

Cost Est. for Res. Bldg: 1 Single Family 1 1/2 STORY Cls D-10 Blt 1930  
 (11) Heating System: Forced Air w/ Ducts  
 Ground Area = 1656 SF Floor Area = 1656 SF.  
 Phy/Ab.Phy/Func/Econ/Comb. % Good=45/100/100/100/45  
 Building Areas  
 Stories Exterior Foundation  
 1 Story Siding Mich Bsmnt.  
 Other Additions/Adjustments  
 Porches  
 CCP (1 Story) 80 1,967 885  
 Deck  
 Treated Wood 461 6,924 3,116  
 Water/Sewer  
 Public Sewer 1 1,192 536  
 Water Well, 150 Feet 1 8,240 3,708  
 Totals: 176,771 79,547 64,513  
 Notes: FIELD STONE CHURCH ECF (2000 COMMERCIAL) 0.811 => TCV: 64,513

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



Sketch by Apen Sketch

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*